
SAN FRANCISCO UNIFIED SCHOOL DISTRICT
FACILITIES, DESIGN AND CONSTRUCTION

ADDENDUM NO. 1

PROJECT: Shell and Core Improvements-1235 Mission
Scope 3: Roofs 1 & 3
1235 Mission Street
San Francisco, California
SFUSD Project No. 11860.3

DATE: December 29, 2017

OWNER: San Francisco Unified School District
135 Van Ness Avenue
San Francisco, CA 94103

Notice is hereby given to all prospective bidders that plans and specifications on the subject project are modified as hereinafter set forth. This Addendum shall be attached to and form a part of the plans and specifications. All bidders must acknowledge receipt of this addendum on the Bid Form. In case of difference with previous addenda or communications, this addendum takes precedence.

It is the responsibility of all bidders to notify all subcontractors from whom they request bids and from whom they accept bids of all changes contained in this addendum.

PROJECT MANUAL

1. Item No. PM1-1

Reference: 00 4000 – Bid Form

Description: Refer to attached Bid Form revised (12-29-2017) and updated to indicate actual due date for bid submittal, **Thursday, January 4, 2018 at 3:00 p.m.** The Contractor shall include a Bid Allowance of \$1,000.00 to cover costs of the building permit fee. The Contractor is expected to pay the building permit fee as provided by this Allowance and apply and pick-up the building permit from the City of San Francisco Building Inspection Department. Use this Bid Form as part of bid submittal package and Project Manual.

2. Item No. PM1-2

Reference: 00 8000 – Special Conditions, Part 1.3

Description: Add Paragraph 1.3.S. as follows:

“S. Facility is opened by Tenant at 7:00 a.m., on regular work days. Work may not commence before this time. Standard work hours shall be 7:30 a.m. – 4:30 p.m., Mondays through Fridays. Noise ordinance (SF Police Code, Article 29: Regulation of Noise) is to be observed by the Contractor at all times. Weekend work will be a Change Order.”

3. Item No. PM1-3

Reference: 01 1400 – Work Restrictions, Part 1.2

Description: Add Paragraph 1.2.C. as follows:

“C. On-site staging / parking areas to be negotiated with Tenant representative. Refer to AD1-SK1”

4. Item No. PM1-4

Reference: (none)

Description: Contractor access to Virtual Site Access, for bid purposes:

VSA Login

<http://epicscan.com/virtual-site-access/>

U: 1235 Mission

P: Mission

*Case sensitive

DRAWINGS

1. Item No. AD1-1

Reference: Sheet A2.25

Description: Add General Note 4, clarifying extents of roof coating application below rooftop mounted equipment. Add keyed note 2271, pertaining to existing cap sheet.

RFI RESPONSES

1. (no RFIs received)

END OF ADDENDUM ITEMS

ATTACHMENTS:

Project Manual:

Section 00 4000 – Bid Form (revised 12-29-2017) 2 Pages

Drawings:

AD1-SK1 1 Page

A2.25 1 Page

3. Roofing (roof coatings, metal flashings, sealants, expansion joint assemblies and all associated work)

_____ Dollars \$ _____
Price in Words Price in Figures

ALLOWANCE:

4. Building Permit Fee (include this amount to the sum of the Total Base Bid above)

ONE THOUSAND DOLLARS \$1,000.00

Acknowledge receipt of Addenda issued for this Project

(Indicate the Addendum Numbers): _____

(Company)

(Signature of Bidder)

(Contractor License Number)

(Printed Name)

(License Expiration date)

(Title of Bidder)

(San Francisco Business Tax Certificate Number)

(Business Address)

If a Corporation, incorporated
In the State of:

(Telephone Number)

(Fax number)

By _____
(Officer)

(Printed name)

(Title)

END OF SECTION 00 4000

NOT FOR CONSTRUCTION

Revision No. _____ Date _____

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrications. The drawings and their design content are the sole property of William Duff Architects, Inc. and may not be reused or reproduced in any manner without our express written consent.



Job Title
1235 MISSION - ROOFING
MAINTENANCE & REPAIR - R1 &
R3

Job Address
1235 MISSION STREET
SAN FRANCISCO, CA 94103

Date
12/01/17

Issued For
BID

Job No.
15003

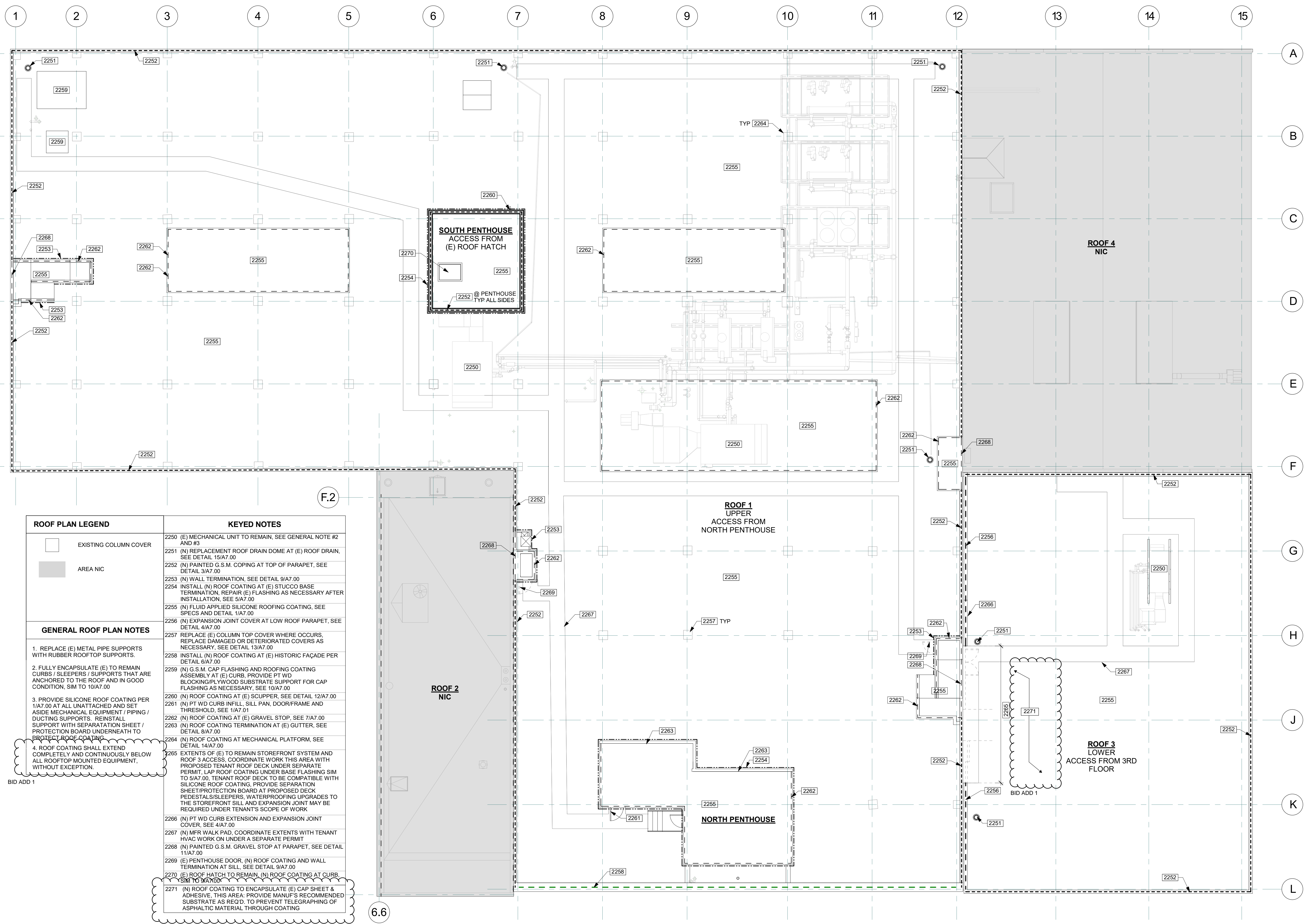
Drawn By: _____ Checked By: _____
JH DP

Scale
As indicated



Sheet Title
PROPOSED ROOF PLAN

Sheet No.
A2.25



ROOF PLAN LEGEND	KEYED NOTES
EXISTING COLUMN COVER	2250 (E) MECHANICAL UNIT TO REMAIN. SEE GENERAL NOTE #2 AND #3
AREA NIC	2251 (N) REPLACEMENT ROOF DRAIN DOME AT (E) ROOF DRAIN. SEE DETAIL 15/A7.00
	2252 (N) PAINTED G.S.M. COPING AT TOP OF PARAPET, SEE DETAIL 3/A7.00
	2253 (N) WALL TERMINATION. SEE DETAIL 9/A7.00
	2254 INSTALL (N) ROOF COATING AT (E) STUCCO BASE TERMINATION, REPAIR (E) FLASHING AS NECESSARY AFTER INSTALLATION. SEE 5/A7.00
	2255 (N) FLUID APPLIED SILICONE ROOFING COATING, SEE SPECS AND DETAIL 1/A7.00
	2256 (N) EXPANSION JOINT COVER AT LOW ROOF PARAPET, SEE DETAIL 4/A7.00
	2257 REPLACE (E) COLUMN TOP COVER WHERE OCCURS, REPLACE DAMAGED OR DETERIORATED COVERS AS NECESSARY, SEE DETAIL 13/A7.00
	2258 INSTALL (N) ROOF COATING AT (E) HISTORIC FAÇADE PER DETAIL 6/A7.00
	2259 (N) G.S.M. CAP FLASHING AND ROOFING COATING ASSEMBLY AT (E) CURB; PROVIDE PT WD BLOCKING/PLYWOOD SUBSTRATE SUPPORT FOR CAP FLASHING AS NECESSARY. SEE 10/A7.00
	2260 (N) ROOF COATING AT (E) SCUPPER, SEE DETAIL 12/A7.00
	2261 (N) PT WD CURB INFILL, SILL PAN, DOOR/FRAME AND THRESHOLD. SEE 1/A7.01
	2262 (N) ROOF COATING AT (E) GRAVEL STOP. SEE 7/A7.00
	2263 (N) ROOF COATING TERMINATION AT (E) GUTTER. SEE DETAIL 9/A7.00
	2264 (N) ROOF COATING AT MECHANICAL PLATFORM, SEE DETAIL 14/A7.00
	2265 EXTENTS OF (E) TO REMAIN STOREFRONT SYSTEM AND ROOF 3 ACCESS. COORDINATE WORK THIS AREA WITH PROPOSED TENANT ROOF DECK UNDER SEPARATE PERMIT. LAP ROOF COATING UNDER BASE FLASHING SIM TO 5/A7.00. TENANT ROOF DECK TO BE COMPATIBLE WITH SILICONE ROOF COATING. PROVIDE SEPARATION SHEET/PROTECTION BOARD AT PROPOSED DECK PEDESTALS/SLEEPERS. WATERPROOFING UPGRADES TO THE STOREFRONT SILL AND EXPANSION JOINT MAY BE REQUIRED UNDER TENANT'S SCOPE OF WORK
	2266 (N) PT WD CURB EXTENSION AND EXPANSION JOINT COVER. SEE 4/A7.00
	2267 (N) MFR WALK PAD, COORDINATE EXTENTS WITH TENANT HVAC WORK ON UNDER A SEPARATE PERMIT
	2268 (N) PAINTED G.S.M. GRAVEL STOP AT PARAPET, SEE DETAIL 11/A7.00
	2269 (E) PENTHOUSE DOOR, (N) ROOF COATING AND WALL TERMINATION AT SILL. SEE DETAIL 9/A7.00
	2270 (E) ROOF HATCH TO REMAIN. (N) ROOF COATING AT CURB. SIM TO 1/A7.00
	2271 (N) ROOF COATING TO ENCAPSULATE (E) CAP SHEET & ADHESIVE, THIS AREA. PROVIDE MANUF'S RECOMMENDED SUBSTRATE AS REQ'D. TO PREVENT TELEGRAPHING OF ASPHALTIC MATERIAL THROUGH COATING

4. ROOF COATING SHALL EXTEND COMPLETELY AND CONTINUOUSLY BELOW ALL ROOFTOP MOUNTED EQUIPMENT, WITHOUT EXCEPTION.

BID ADD 1

BID ADD 1

11/27/2017 2:23:53 PM

ROOF PLAN
1/8" = 1'-0"

NOT FOR CONSTRUCTION

Revision No. _____ Date _____

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Job Title
SHELL & CORE IMPROVEMENTS
1235 MISSION, SCOPE 3- ROOFS 1 & 3
SFUSD PROJECT #11860.3

Job Address
1235 MISSION STREET
SAN FRANCISCO, CA 94103

Date
12/01/17

Issued For
BID

Job No.
15003

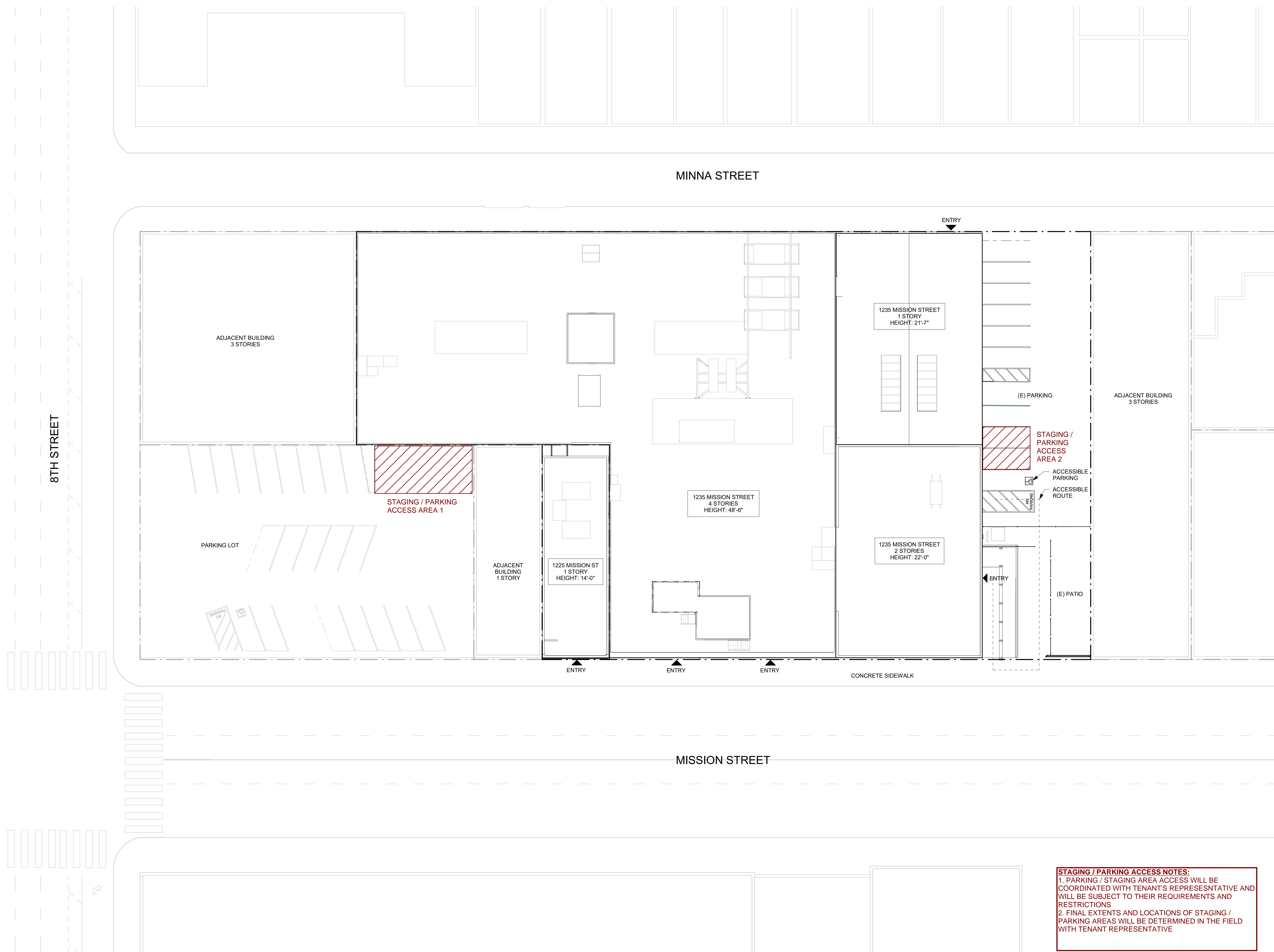
Drawn By: JH Checked By: DKP / DP

Scale
1/16" = 1'-0"



Sheet Title
SITE ACCESS / STAGING

Sheet No.
AD1-SK1



STAGING / PARKING ACCESS NOTES:
1. PARKING / STAGING AREA ACCESS WILL BE COORDINATED WITH TENANT'S REPRESENTATIVE AND WILL BE SUBJECT TO THEIR REQUIREMENTS AND RESTRICTIONS
2. FINAL EXTENTS AND LOCATIONS OF STAGING / PARKING AREAS WILL BE DETERMINED IN THE FIELD WITH TENANT REPRESENTATIVE

SITE PLAN 1
1/16" = 1'-0"

11/27/2017 2:28:47 PM