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SAN FRANCISCO UNIFIED SCHOOL DISTRICT  
2011 PROPOSITION A BOND PROGRAM  
**Paul Revere School Modernization and Interim Housing**

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**ADDENDUM NO. 1**

**PROJECT:** Paul Revere School  
Modernization and Interim Housing  
555 Tompkins Avenue  
San Francisco, CA 94110

**DATE:** March 25, 2015  
**DSA File No. 38-1**  
**DSA APP. No. 01-114431 & 01-114528**

**OWNER:** San Francisco Unified School District  
135 Van Ness Avenue  
San Francisco, CA 94102

Notice is hereby given to all prospective bidders that plans and specifications on the subject project are modified as hereinafter set forth. This Addendum shall be attached to and form a part of the plans and specifications. All bidders must acknowledge receipt of this addendum on the Bid Form. In case of difference with previous addenda or communications, this addendum takes precedence.

It is the responsibility of all bidders to notify all subcontractors from whom they request bids and from whom they accept bids of all changes contained in this addendum.

**PROJECT MANUAL**

**1. Item No. PM-1**

**Reference:** Appendix A - 00335 Existing Hazardous Material Conditions

**Description:** Add note "h" to Section C, Part 1 – Annex Building

"h. Any original white window glazing/caulk located underneath grey flexible caulking (non-asbestos) in various window frames throughout (2% Chrysotile, non-friable ACM); estimated quantity 500 SF."

**Attachment:** No attachment

**2. Item No. PM-2**

**Reference:** Appendix A - 00335 Existing Hazardous Material Conditions

**Description:** Revise note b, Section C, Part 3 – Annex Building

**Revise to read:** "Asphalt **patch** systems located on the Upper **North West** play yard of the Annex (<0.1% Chrysotile, non-ACCM, construction debris); estimated ~~7000~~ **200** sf".

**Attachment:** No attachment

**3. Item No. PM-3**

**Reference:** Appendix A - 00335 Existing Hazardous Material Conditions

**Description:** Add note "s" to Section C, Part 4 – Annex Building

"s. Majority field asphalt systems of the upper Annex play yard".

**Attachment:** No attachment

**4. Item No. PM-4**

**Reference:** Appendix B - Page 6 of "Site Soil Characterization Findings," under "Pavement Systems"

**Description:** Revise original language to read: " Petromat/reflection cracking control tar was observed in all the pavement/asphalt systems of all play yards ~~except for the lower yard of the main building~~."

**Attachment:** No attachment

**5. ITEM NO. PM-5**

**Reference:** Appendix B - Page 7 of "Conclusions and Recommendations, under "Pavement Systems"

**Description:** Revise original language to read:" Petromat/reflection cracking control tar systems were located in asphalt cores through all play yards ~~except the lower yard of the main building~~."

**Attachment:** No attachment

**DRAWINGS**

**1. Item No. DWG-1**

**Reference:** A1.01 – Site Plan - Demo, Sheet note 4

**Description:** Add the following language to sheet note 4: "ASPHALT SECTION CONTAINS EXISTING NONWOVEN POLYPROPYLENE FABRIC (PETROMAT). CONTRACTOR SHALL SEPARATE FABRIC FROM ASPHALT AND DISPOSAL IN AN APPROPRIATE DISPOSAL FACILITY".

**Attachment:** No attachment

**2. Item No. DWG-2**

**Reference:** E2.07 – Main – Second Floor Plan – Power & Signal - Sheet note 21

**Description:** Revise sheet note 21 per ESK-01 to read: "WALL CONTROL SWITCH FOR MOTORIZED ROOF WINDOW (FFI #SW5657-2W). VERIFY EXACT LOCATION AND REQUIREMENTS WITH ARCHITECT PRIOR TO ROUGH-IN. SEE 1 & 2/E2.08."

**Attachment:** ESK-01

**3. Item No. DWG-3**

**Reference:** E2.08 - Main – Roof Plan – Power & Signal - Sheet note 2

**Description:** Revise sheet E2.08 note 2 per ESK-02, to read: "MOTORIZED WINDOW - COORDINATE EXACT REQUIREMENTS WITH ARCHITECT PRIOR TO ROUGH-IN. PROVIDE AND INSTALL CONTROL PANEL (FFI #CP-4RQ-20ADC-UL OR EQUAL) ABOVE ACCESSIBLE CEILING IN STAFF LOUNGE 205 AND CONNECT ACTUATOR COMPLETE USING MANUFACTURER-PROVIDED CABLE IN 3/4"C. - COORDINATE WITH MFR. TO PROVIDE LENGTH OF CABLE AS NEEDED. CONNECT CONTROL PANEL COMPLETE TO FIRE ALARM SYSTEM CONTROL MODULE PROGRAMMED TO CLOSE WINDOW UPON BUILDING ALARM - SEE E2.07, FA2.07, AND 2/E2.08."

**Attachment:** ESK-02

4. Item No. DWG-4  
Reference: **E2.08 - Main – Roof Plan – Power & Signal**  
Description: Add Detail 2/E2.08 per **ESK-03**– Window Actuator Control Detail  
Attachment: **ESK-03**
5. Item No. DWG-5  
Reference: **FA2.07 - Main – Second Floor Plan – Fire Alarm Plan – Sheet Note 1**  
Description: **Revise sheet note 1 per ESK-04 to read: “CONTROL MODULE AND MONITOR MODULE ABOVE FOR MOTORIZED WINDOW OPERATOR. CONNECT COMPLETE TO WINDOW CONTROL PANEL AND PROGRAM TO CLOSE WINDOW UPON BUILDING ALARM. SEE 2/E2.08.”**  
Attachment: **ESK-04**
6. Item No. DWG-6  
Reference: **FA3.01 - Riser Diagram**  
Description: Added Main Building roof monitor module #IM3-3a to Fire Alarm Riser Diagram per ESK-05  
Attachment: **ESK-05**
7. Item No. DWG-7  
Reference: **HM-2 - Site Plan – Demo - Keynote A14**  
Description: CLARIFICATION: **Keynote A14** “REMOVE NON-ASBESTOS CONTAINING CONSTRUCTION MATERIAL ASPHALT (NON-ACCM <0.1%)...” applies only to patches of asphalt (dissimilar to majority field asphalt) located on the northwest corner portion of the Annex upper yard.  
Attachment: **No attachment**
8. Item No. DWG-8  
Reference: **HM-1 - Title Sheet and General Notes - Keynote A17**  
Description: **For HM-1, add Keynote A17** “REMOVE ANY ASBESTOS CONTAINING ORIGINAL WINDOW GLAZING/CAULK LOCATED UNDERNEATH EXISTING FLEX CAULKING FOR THE PURPOSES OF RENOVATION ACCORDING TO ALL DEMO AND NEW PLANS.” to Abatement Keynote Index.  
Attachment: **No attachment**
9. Item No. DWG-9  
Reference: **HM-2 - Site Plan - Demo - Keynote A17**  
Description: **Add Keynote A17** to the entire exterior of the Annex building (all sides) in coordination with any window renovation. **A17** “REMOVE ANY ASBESTOS CONTAINING ORIGINAL WINDOW GLAZING/CAULK LOCATED UNDERNEATH EXISTING FLEX CAULKING FOR THE PURPOSES OF RENOVATION ACCORDING TO ALL DEMO AND NEW PLANS.” to Abatement Keynote Index. CLARIFICATION: Refer to architectural drawing A3.02 for scope of work in coordination with hazmat drawings.  
Attachment: **No attachment**

**10. Item No. DWG-10**

**Reference:** HM-12 – Main - First Floor RCP - Demo - Keynote A16

**Description:** Add Keynote A16 to all areas of the exterior canopy (Abatement of original fireproofing) applies to all areas of the exterior canopies/ceilings/plenums where ceiling demolition will occur. For example, Keynote A16 is applied to the entire exterior east ceiling/canopy/plenum area where majority ceiling will be demolished. Keynote A16 also applies to areas along the perimeter of the building where ceiling demolition will occur for new work (structural, mechanical, plumbing, FP, etc.). Locations include but are not limited to (for first and second floor exterior ceiling areas): southern exterior near gridlines 3 and 9, western exterior near gridlines C-D and G-H, northern exterior near gridlines 3 and 8-9, eastern exterior near gridlines C-D and F. Refer to architectural drawing A6.01 and A6.02 for scope of work.

**Attachment:** No attachment

**11. Item No. DWG-11**

**Reference:** HM-13 - Main - Second Floor RCP - Demo - Keynote A16

**Description:** Add Keynote A16 to all areas of the exterior canopy (Abatement of original fireproofing) applies to all areas of the exterior canopies/ceilings/plenums where ceiling demolition will occur. For example, Keynote A16 is applied to the entire exterior east ceiling/canopy/plenum area where majority ceiling will be demolished. Keynote A16 also applies to areas along the perimeter of the building where ceiling demolition will occur for new work (structural, mechanical, plumbing, FP, etc.). Locations include but are not limited to (for first and second floor exterior ceiling areas): southern exterior near gridlines 3 and 9, western exterior near gridlines C-D and G-H, northern exterior near gridlines 3 and 8-9, eastern exterior near gridlines C-D and F. Refer to architectural drawing A6.01 and A6.02 for scope of work.

**Attachment:** No attachment

**12. Item No. DWG-12**

**Reference:** HM-12 – Main - First Floor RCP - Demo - Keynote L5

**Description:** CLARIFICATION: Keynote L5 (Abatement of ceiling system with lead-containing/lead-based paints) applies to all areas of the exterior canopies/ceiling where ceiling demolition will occur. For example, Keynote L5 is applied to the entire east canopy/ceiling area where majority ceiling will be demolished. Keynote L5 also applies to areas along the perimeter of the building where ceiling demolition will occur for new work (structural, mechanical, plumbing, FP, etc.). Locations include but are not limited to (for first and second floor exterior ceiling areas): southern exterior near gridlines 3 and 9, western exterior near gridlines C-D and G-H, northern exterior near gridlines 3 and 8-9, eastern exterior near gridlines C-D and F. Refer to architectural drawing A6.01 and A6.02 and for scope of work in coordination with hazmat drawings.

**Attachment:** No attachment

**13. Item No. DWG-13**

**Reference:** **HM-13 - Main - Second Floor RCP - Demo - Keynote L5**

**Description:** CLARIFICATION: **Keynote L5** (Abatement of ceiling system with lead-containing/lead-based paints) applies to all areas of the exterior canopies/ceiling where ceiling demolition will occur. For example, Keynote L5 is applied to the entire east canopy/ceiling area where majority ceiling will be demolished. Keynote L5 also applies to areas along the perimeter of the building where ceiling demolition will occur for new work (structural, mechanical, plumbing, FP, etc.). Locations include but are not limited to (for first and second floor exterior ceiling areas): southern exterior near gridlines 3 and 9, western exterior near gridlines C-D and G-H, northern exterior near gridlines 3 and 8-9, eastern exterior near gridlines C-D and F. Refer to architectural drawing A6.01 and A6.02 and coordination with hazmat drawings.

**Attachment:** **No attachment**

**14. Item No. DWG-14**

**Reference:** **HM-2 Site Plan – Demo Interim Housing**

**Description:** **Delete Keynote A16** (Remove any assumed suspect petromat/felt, pipe system...) from the Main Building Upper and Lower Yard. Refer to IH drawing set for scope of work in coordination with hazmat drawings.

**Attachment:** **No attachment**

**15. Item No. DWG-15**

**Reference:** **HM-3 – Main - First Floor Plan - Demo- Keynote A11**

**Description:** CLARIFICATION: Materials assumed or to be handled by abatement contractor upon scheduled demolition should be included for bidding purposes, similar to the assumption that all fire doors, chalkboards, or any suspect material is considered asbestos containing until actual exploratory demolition or further inspection immediately prior to demolition/removal. For bidding purposes, quantities for any “suspect subflooring material” should be estimated in coordination with the quantities for concrete removal to the extent necessary for new work/renovation.

**Attachment:** **No attachment**

**16. Item No. DWG-16**

**Reference:** **HM-4 - Main Second Floor Plan Demo**

**Description:** CLARIFICATION: Refer to architectural drawings A4.01 through A4.29, Sheet Note G which contains information regarding removal of existing chalkboards.

**Attachment:** **No attachment**

**17. Item No. DWG-17**

**Reference:** **HM-6 – Annex – First and Second Floor - Demo - Keynote A10**

**Description:** CLARIFICATION: Refer to architectural drawings A4.01 through A4.29, Sheet Note G which contains information regarding removal of existing chalkboards.

**Attachment:** **No attachment**

**18. Item No. DWG-18**

**Reference:** HM-7 - Annex – Third Floor and Roof Plans - Demo Keynote A10

**Description:** CLARIFICATION: Refer to architectural drawings A4.01 through A4.29, Sheet Note G which contains information regarding removal of existing chalkboards.

**Attachment:** No attachment

**19. Item No. DWG-19**

**Reference:** HM-13 - Main Second Floor RCP Demo

**Description:** CLARIFICATION: Architectural drawing A6.01 “Main Building 2<sup>nd</sup> floor RCP Demo” calls for ceiling demo in areas where new concrete shear walls are to be constructed. Disturbance and contractor assist demolition of existing walls at the same locations may be required for reinforcement and structural detail. Refer to the structural and architectural drawings for scope of work. It is important to note that all work disturbing painted surfaces falls under the Cal-OSHA Lead in Construction Standard to which all contractors are regulated.

**Attachment:** No attachment

**20. Item No. DWG-20**

**Reference:** HM-6 - Annex First and Second Floor Plan - Demo - Keynote A13A

**Description:** CLARIFICATION: Materials assumed or to be handled by abatement contractor upon scheduled demolition should be included for bidding purposes, similar to the assumption that all fire doors, chalkboards, or any suspect material is considered asbestos containing until actual exploratory demolition or further inspection immediately prior to demolition/removal. For bidding purposes, quantities should be estimated in coordination with the quantities for concrete pad removal to the extent necessary for new work/renovation.

**Attachment:** No attachment

**ATTACHMENTS:**

**Project Manual:** None

**Sketches:** *ESK-01*

*ESK-02*

*ESK-03*

*ESK-04*

*ESK-05*

**END OF ADDENDUM ITEMS**

3298 Pierce Street, San Francisco CA 94123  
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## NUMBERED SHEET NOTES

- 1 (N) SECURITY SYSTEM HEAD-END EQUIPMENT - SEE E4.21.
- 2 (N) WALL PHONE OUTLET MOUNTED AT +48" AFF TO TOP OF BOX WITH CABLING HOMERUN TO (E) IDF ROOM - VERIFY EXACT REQUIREMENTS AND LOCATION PRIOR TO ROUGH-IN.
- 3 (N) CLOCK/SPEAKER - HOMERUN CABLING IN CONDUIT TO (N) CLOCK/SPEAKER HEADEND. MOUNT AT +8'-6" A.F.F. - SEE ARCHITECTURAL PLANS FOR EXACT LOCATION.
- 4 (N) DATA OUTLET FOR WIRELESS ACCESS POINT. MOUNT ON CEILING OR WHERE SHOWN ON WALL AT +96" A.F.F. - VERIFY EXACT LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.
- 5 CONTROLLED OUTLET IN COMPLIANCE WITH TITLE 24 PART 6 SECTION 130.5(d). PROVIDE ADDITIONAL POWER PACK AS NEEDED TO CONTROL WITH LOCAL LIGHTING OCCUPANCY SENSOR, OR WHERE APPLICABLE ROUTE 120V CIRCUIT VIA PLUGLOAD CONTROLLER AND CONNECT COMPLETE. SEE LIGHTING PLANS FOR PLUGLOAD CONTROLLER LOCATIONS. SEE 1 & 2/E4.30 FOR WIRING.

- 17 (N) CCTV SYSTEM HEAD END SERVER TO BE MOUNTED IN EMPTY HALF OF (E) RACK IN ROOM 207 - SEE E4.21. WALL-MOUNT CCTV MONITOR ADJACENT ON WALL BEHIND RACK - COORDINATE EXACT LOCATION WITH DISTRICT PRIOR TO ROUGH-IN. PROVIDE ALL REQUIRED WALL-MOUNTING HARDWARE.
- 18 (E) MECHANICAL UNIT TO BE RECONNECTED TO (E) CIRCUIT AFTER BEING REPOSITIONED - SEE DEMO PLANS AND MECHANICAL PLANS. COORDINATE WITH MECHANICAL.
- 19 EMS PANEL - CONNECT COMPLETE TO CIRCUIT NOTED. COORDINATE EXACT LOCATION WITH MECHANICAL.
- 20 PROVIDE VALCOM PAGING EQUIPMENT AND ALL CONNECTIONS AS SHOWN IN CLOCK/PA DIAGRAM 1/E4.20. PROVIDE RACK SHELF AND ADJACENT RECEPTACLES AS SHOWN.
- 21 WALL CONTROL SWITCH FOR MOTORIZED ROOF WINDOW (FFI #SW5657-2W). VERIFY EXACT LOCATION AND REQUIREMENTS WITH ARCHITECT PRIOR TO ROUGH-IN. SEE 1 & 2/E2.08.

DRAWING TITLE: MAIN - SECOND FLOOR PLAN - POWER & SIGNAL  
 REFERENCE DRAWING: E2.07  
 ISSUED VIA: ADDENDUM-1  
 SCALE: NOT TO SCALE DATE: 03/23/2015

# ESK-01

3298 Pierce Street, San Francisco CA 94123  
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## NUMBERED SHEET NOTES

1 WEATHERPROOF DATA OUTLET MOUNTED ON ROOF FOR WIRELESS ACCESS POINT. STUB 1" C. TO ABOVE ROOF PARAPET WALL AND MOUNT OUTLET TO STUB-UP TO OBTAIN LINE-OF-SIGHT TO PLAYGROUND.

2 MOTORIZED WINDOW - COORDINATE EXACT REQUIREMENTS WITH ARCHITECT PRIOR TO ROUGH-IN. PROVIDE AND INSTALL CONTROL PANEL (FFI #CP-4RQ-20ADC-UL OR EQUAL) ABOVE ACCESSIBLE CEILING IN STAFF LOUNGE 205 AND CONNECT ACTUATOR COMPLETE USING MANUFACTURER-PROVIDED CABLE IN 3/4" C. - COORDINATE WITH MFR. TO PROVIDE LENGTH OF CABLE AS NEEDED. CONNECT CONTROL PANEL COMPLETE TO FIRE ALARM SYSTEM CONTROL MODULE PROGRAMMED TO CLOSE WINDOW UPON BUILDING ALARM - SEE E2.07, FA2.07, AND 2/E2.08.

3 SPLIT SYSTEM COOLING SYSTEM - INDOOR UNIT POWERED FROM OUTDOOR UNIT. PROVIDE AND INSTALL (1) 3/4" C. WITH (4)#12 & (1)#12G. FOR POWER AND (1) 3/4" C. FOR CONTROLS FROM UNIT ON ROOF TO INDOOR UNIT. SEE MECHANICAL DRAWINGS FOR EXACT REQUIREMENTS.

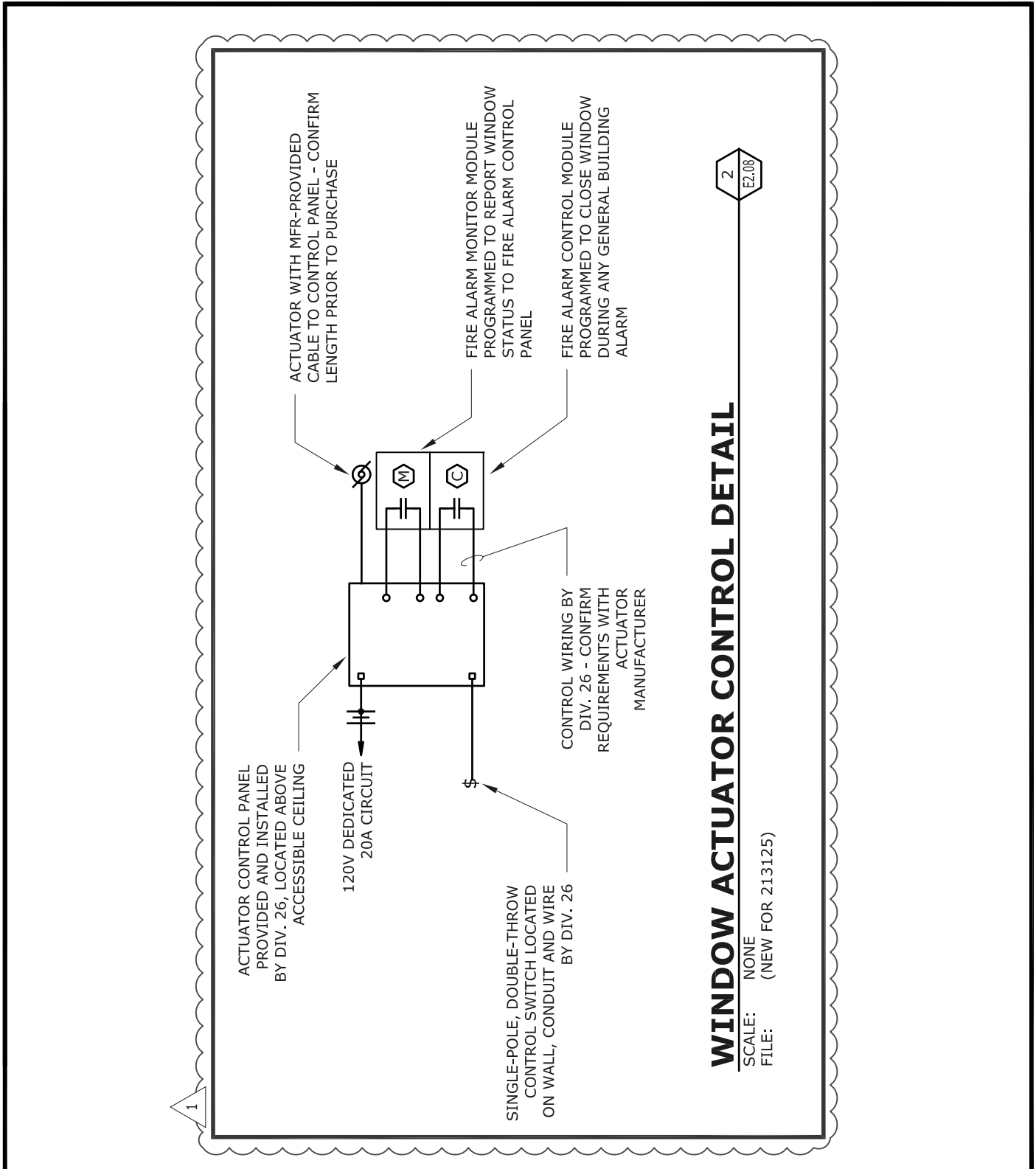
4 FED FROM (N) STARTER IN MECHANICAL MEZZANINE - SEE 1/E4.01 & 2/E2.06.

DRAWING TITLE: MAIN - ROOF PLAN - POWER & SIGNAL  
REFERENCE DRAWING: E2.08  
ISSUED VIA: ADDENDUM-1  
SCALE: NOT TO SCALE DATE: 03/23/2015

# ESK-02



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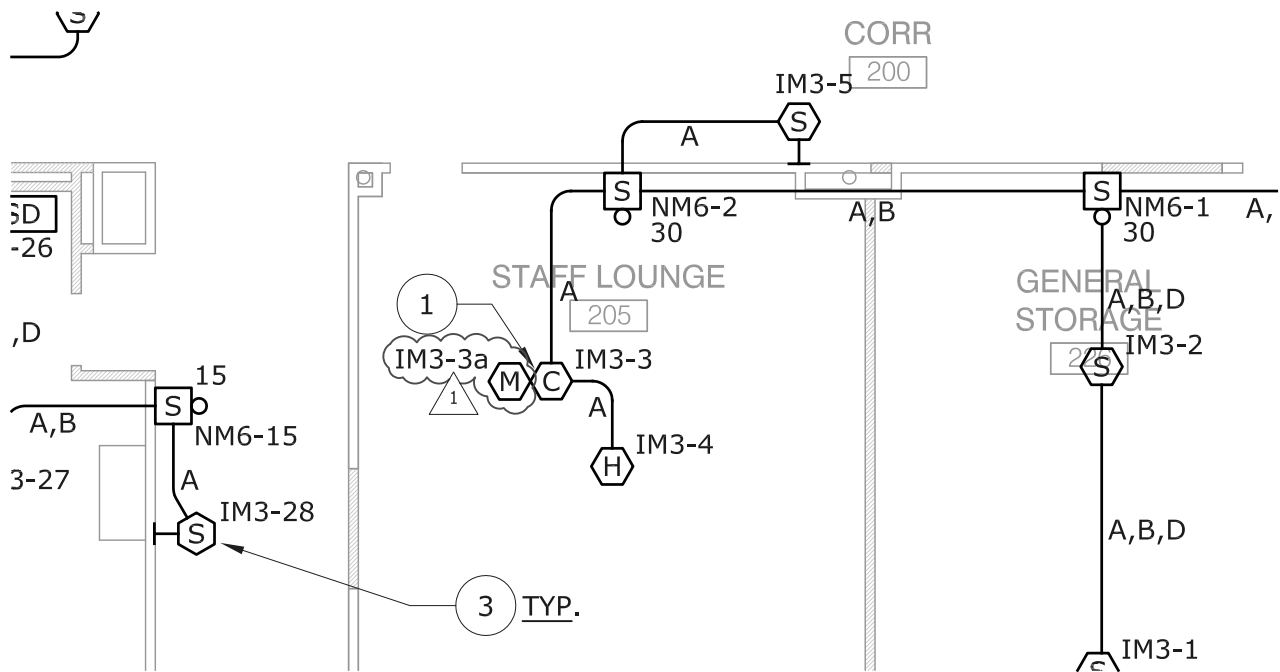
DRAWING TITLE: MAIN - ROOF PLAN - POWER & SIGNAL  
 REFERENCE DRAWING: E2.08  
 ISSUED VIA: ADDENDUM-1  
 SCALE: NOT TO SCALE  
 DATE: 03/23/2015

**ESK-03**

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## NUMBERED SHEET NOTES

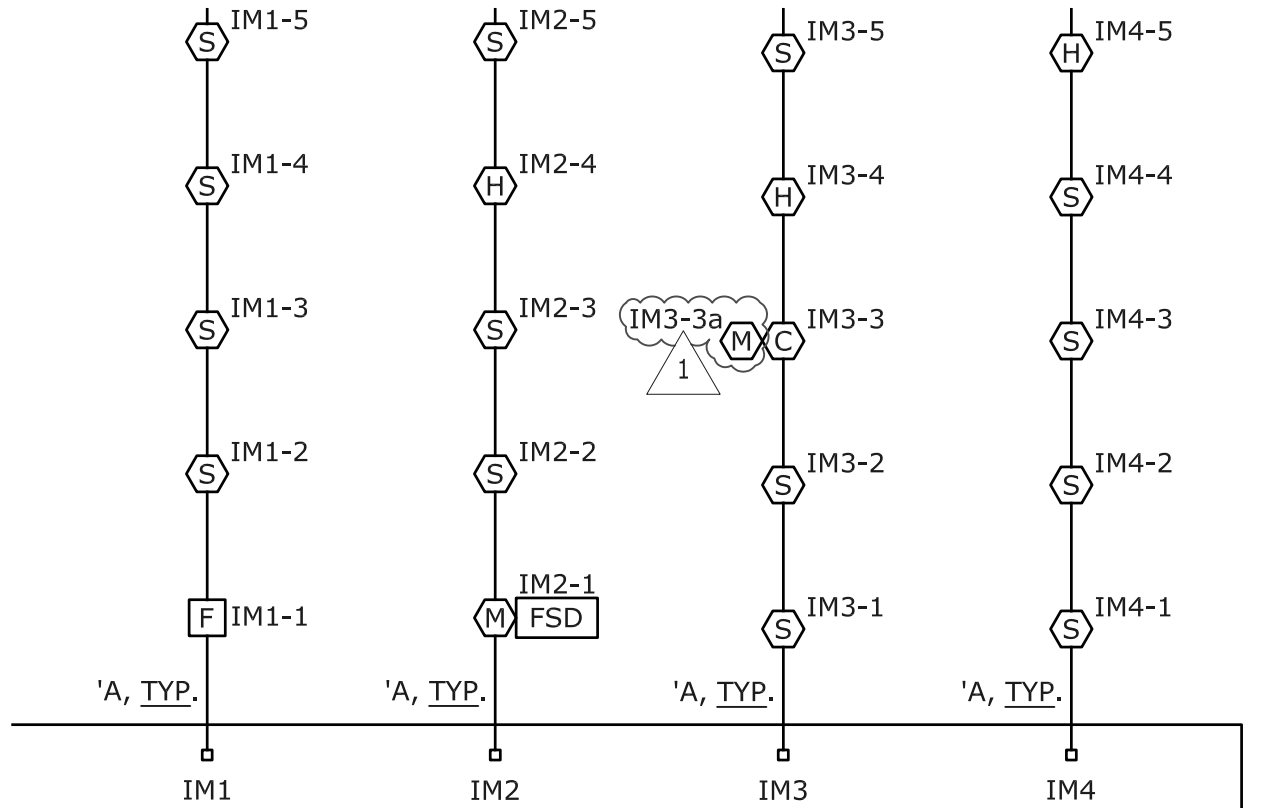
- 1 CONTROL MODULE AND MONITOR MODULE ABOVE FOR MOTORIZED WINDOW OPERATOR. CONNECT COMPLETE TO WINDOW CONTROL PANEL AND PROGRAM TO CLOSE WINDOW UPON BUILDING ALARM. SEE 2/E2.08.
- 2 ELEVATOR SYSTEM FIRE ALARM DEVICES - SEE 4/FA4.01 FOR COMPLETE REQUIREMENTS.
- 3 WALL-MOUNTED SMOKE DETECTOR MOUNTED IN COMPLIANCE WITH NFPA72 17.6.3.1.3.1 - TYPICAL IN ALL CORRIDORS TO AVOID DISTURBING HAZARDOUS MATERIALS IN CORRIDOR CEILINGS. SAME MODEL AS CEILING-MOUNTED DETECTORS - PROVIDE ANY NEEDED MOUNTING ACCESSORIES FOR WALL-MOUNT INSTALLATION. SEE 5/FA4.01.



DRAWING TITLE: MAIN - SECOND FLOOR PLAN - FIRE ALARM  
 REFERENCE DRAWING: FA2.07  
 ISSUED VIA: ADDENDUM-1  
 SCALE: NOT TO SCALE DATE: 03/23/2015

# ESK-04

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TERMINAL CABINET

FM CONTROL  
'FACP-M'

DRAWING TITLE: RISER DIAGRAM - MAIN BUILDING - FIRE ALARM  
 REFERENCE DRAWING: FA3.01  
 ISSUED VIA: ADDENDUM-1  
 SCALE: NOT TO SCALE  
 DATE: 03/23/2015

**ESK-05**